



**OPEN MEETING**

**REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL  
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Thursday, January 18, 2018 – 9:30 a.m.  
Laguna Woods Village Community Center Sycamore Room  
24351 El Toro Road**

**NOTICE AND AGENDA**

1. Call to Order
2. Acknowledgement of Media
3. Approval of the December 18, 2017 Report
4. Approval of the Agenda
5. Chair Remarks
6. Member Comments - *(Items Not on the Agenda)*
7. Department Head Update

**Consent:**

*All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

8. Revised Standard 13 – Fences, Wrought Iron

**Reports:**

None

**Items for Discussion and Consideration:**

9. 3064-A (San Clemente, OO03\_2) Window Modifications to Kitchen and Bedroom
10. 3386-C (Andaluz, P203RA) Retain Non-Standard Front Entry Door Color
11. Review Architectural Standard 17 – Gates
12. Review Architectural Standard 18 – Gutters and Downspouts
13. Review Architectural Standard 19 – Balcony Modesty Paneling
14. Review Architectural Standard 21 – Patio Slabs

## Items for Future Agendas

Acoustical Solutions

### Concluding Business:

15. Committee Member Comments
16. Date of Next Regular Meeting and Bus Tour – February 26, 2018
17. Adjourn

Bill Walsh, Chair  
Kurt Wiemann, Staff Officer  
Eve Morton, Alterations Coordinator: 949-268-2565



**OPEN MEETING**

**REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL  
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Monday, December 18, 2017 – 9:30 a.m.  
Laguna Woods Village Community Center Sycamore Room  
24351 El Toro Road**

*(The Bus Tour for Directors and Advisors will follow this meeting)*

**REPORT**

**MEMBERS PRESENT:** Chair - Bert Moldow, John Frankel, Steve Parsons, and Bill Walsh

**MEMBERS ABSENT:** Bob Hatch and Rosemarie diLorenzo

**ADVISORS PRESENT:** Mike Butler

**STAFF PRESENT:** Kurt Wiemann, Gavin Fogg, and Eve Morton

**1. Call to Order**

Chair Moldow called the meeting to order at 9:30 a.m.

**2. Acknowledgement of Media**

No media were present.

**3. Approval of the Agenda**

Director Walsh made a motion to approve the agenda and it was approved unanimously.

**4. Approval of the November 27, 2017 Report and Special Meeting Report from December 7, 2017**

Director Walsh moved to approve the Reports with the correction to Item #16 on the November 27, 2017 Report to read, "Staff was asked to add an exception for

the five buildings which have solar panels on the roofs" to "twelve buildings which have solar panels on the roofs." The committee approved unanimously to make that change and to approve the Reports.

**5. Committee Chair Remarks**

None

**6. Member Comments - (Items Not on the Agenda)**

Member comments were heard by the Committee.

**7. Department Head Update**

Mr. Wiemann reported that the Alterations Department will be moved to the Spruce Room by the end of February and that there will be a meeting room there to discuss alterations with residents.

**Consent:**

**8. Revised Standards 5a, 5b, 5c – Satellite Dishes with associated Resolution**

Director Parsons commented the issue of space allocation on a multi-story building roof for exchange handlers, solar panels, satellite dish and solar tubes.

Director Parsons made a motion to remove the agenda item, "Revised Standards: 5a, 5b, 5c – Satellite Dishes" from the December 19, 2017, Open Session Board agenda and add the agenda item, "Discuss space allocation on multi-story buildings, e.g. for exchange handlers, skylights, solar panels, and satellite dishes" to the December 19, 2017, Executive Session Agenda. A vote was cast and the motion was approved unanimously.

Chair Moldow requested that Mr. Wiemann report on mounting of satellite dishes on alternate products to wood at a future meeting.

**9. Revised Standard 10 – Exterior Doors with associated Resolution**

Director Parson made a motion to accept Staff's recommendations. A vote was cast and the motion was approved unanimously.

Director Frankel discussed not allowing certain images on the glass. Mr. Wiemann stated Staff has the discretion to review the glass and would not approve objectionable items.

**10. Revised Standard 11 – Exterior Floor Covering with associated Resolution**

Director Walsh made a motion to accept Staff's recommendation. A vote was cast and the motion was approved unanimously.

**11. Revised Standard 12 – Exterior Wall Attachments with associated Resolution**



Director Parsons made a motion to accept Staff's recommendation. A vote was cast and the motion was approved unanimously.

Reports:

None

Items for Discussion and Consideration:

**12. 3174-C (Las Flores, PL104RC) Replace Patio Enclosure with Room Addition**

Director Frankel made a motion to accept Staff's recommendation with a condition of approval that the roof be constructed of white material. A vote was cast and the motion was approved unanimously.

**13. Update on Section 11a Interior Hard-Surface Flooring re: Noise Testing**

Mr. Wiemann reviewed his discussion with Compliance. The responsibility for noise testing cost is determined by the Board on a case by case basis. Existing hard surface floors are not "grandfathered" and a new resident may register a complaint about excessive noise.

The committee agreed Section 11a may stay "as is" with Staff's recommendation of no changes.

**14. Review Architectural Standard 13 - Fences, Wrought Iron**

Director Parsons moved to accept Staff's recommendation. A vote was cast and the motion was approved unanimously.

**15. Review Architectural Standard 14 – Fireplace Installations**

Director Walsh made a motion to accept Staff's recommendation. Discussion ensued regarding allowing new fireplaces to be added, even if they were on the original plan.

Mr. Wiemann was asked by Committee to inquire with the City regarding ordinances on wood-burning fireplaces.

A motion was made by Director Walsh to table this item until next month and to ask M&C to add this item to their next agenda; the banning of burning of wood in a fireplace. A vote was cast and the motion was approved unanimously.

(2241-Q) Roy Bruninghaus inquired about what is his responsibility for his chimney, e.g. keeping out animals, etc. The committee informed him to call Resident Services to have it inspected with it being Common Area.

**16. Review Architectural Standard 16 – Garage Doors, Sectional or One Piece**

Director Parsons moved to accept Staff's recommendation with the condition of striking the reference to wood in §2.5. Discussion ensued regarding consistency in aesthetic appearance. Director Parsons withdrew his motion and made a new motion to request that an agenda item, "Discuss the extent to which requiring garage doors to match may be enforced," be added to the next Executive Session Agenda. A vote was cast and the motion was approved unanimously.

Items for Future Agendas

Acoustical Solutions

Concluding Business:

**17. Committee Member Comments**

None

**18. Date of Next Regular Meeting and Bus Tour – January 18, 2017**

**19. No bus tour. Meeting adjourned at 11:06 a.m.**



Chair, Bert Moldow

Kurt Wiemann, Staff Officer

Eve Morton, Alterations Coordinator, 268-2565



## STAFF REPORT

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**DATE:** January 18, 2018  
**FOR:** Architectural Controls and Standards Committee  
**SUBJECT:** Revisions to Alteration Standard 13 – Fences, Wrought Iron

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### **RECOMMENDATION**

Approve a resolution to revise Alteration Standard 13 – Fences, Wrought Iron

### **BACKGROUND**

The Architectural Controls and Standards Committee (ACSC) requested Staff to review and revise the current Alteration Standards for applicability, usefulness, and current technology.

There are currently 40 Alteration Standards available for Members to use to perform alterations to their manor. Many have not been reviewed or updated for years to reflect changes in technology, materials, and construction methods.

Alteration Standard 13 – Fences- Wrought Iron was last revised in July 2013, via Resolution 03-13-74.

### **DISCUSSION**

The ACSC has reviewed the existing Alteration Standard Alteration Standard 13 – Fences, Wrought Iron and determined that the Standard needs to be revised to reflect the current Building Codes, Municipal Codes, or Mutual policies. The proposed revisions to the Standard are as follows:

- §2.4 Attachments to buildings shall be lags or metal shots only, predrilled and sealant applied. **All connections shall be galvanized or stainless steel.**
- §2.5 Wrought iron fencing may be installed as ~~approved as~~ part of a block wall. See ~~Specifications Standard Section 6~~ for block walls.
- §2.6 Openings ~~for~~ with gates are permissible. **Openings may only open onto designated pathways. Openings are not permitted onto Common Area.**
- §2.8 All wrought iron shall be painted in accordance with the Mutual's painting policy - **black, white, or the color of the wall of which it's attached. If existing wrought iron fencing or gates are present on the subject building, the color of these fences and gates shall set precedence.**

### **FINANCIAL ANALYSIS**

None

**Prepared By:** Kurt Wiemann, Permits, Inspections and Restoration Manager

**Reviewed By:** Eve Morton, Alterations Coordinator

**ATTACHMENT(S)**

**Attachment 1: Resolution 03-17-XXX Revise Alteration Standard Section 13**

**Attachment 2: Red Lines of Alteration Standard 13 – Fences, Wrought Iron**



## Attachment 1

### RESOLUTION 03-18-XX

#### **Revise Alteration Standard 13 – Fences, Wrought Iron**

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary; and,

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to revise Alteration Standard 13 – Fences, Wrought Iron.

**NOW THEREFORE BE IT RESOLVED**, February 13, 2018, that the Board of Directors of this Corporation hereby revises and amends the following sections of Alteration Standard Section 13 – Fences, Wrought Iron;

§2.4 Attachments to buildings shall be lags or metal shots only, predrilled and sealant applied. **All connections shall be galvanized or stainless steel.**

§2.5 Wrought iron fencing may be installed as **approved-as** part of a block wall. See **Specifications Standard Section 6** for block walls.

§2.6 Openings **for** with gates are permissible. **Openings may only open onto designated pathways. Openings are not permitted onto Common Area.**

§2.8 All wrought iron shall be painted in accordance with the Mutual's painting policy - **black, white, or the color of the wall of which it's attached. If existing wrought iron fencing or gates are present on the subject building, the color of these fences and gates shall set precedence.**

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution as written.

**Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30-days from the postponement to comply with Civil Code §4360.**

Attachment 2

THIRD LAGUNA HILLS MUTUAL

SECTION 13 FENCES, WROUGHT IRON

FEBRUARY 1985

REVISED APRIL 1996, RESOLUTION M3-96-28

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

REVISED JULY 2013, RESOLUTION 03-13-74

**FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL  
REQUIREMENTS FOR ALTERATION STANDARDS**

**1.0 GENERAL REQUIREMENTS**

- 1.1 PERMITS AND FEES:** A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- 1.2 MEMBERS' RESPONSIBILITY:** The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- 1.3 CODES AND REGULATIONS:** All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 WORK HOURS:** No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.
- 1.5 PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval

indicating all work to be done, i.e., size, location, description and specifications.

- ~~1.6 — **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 — **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 — **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## 2.0 APPLICATIONS

- 2.1 No fence shall be over 5'-0" in height, inclusive of wall and fence, nor under 12" in height.
- 2.2 All posts shall be attached to slab, wall, or set in concrete. No posts shall have contact with any soil.
- 2.3 All posts and related pieces shall be of common square, rectangular, and flat stock. No round bar.
- 2.4 Attachments to buildings shall be lags or metal shots only, predrilled and sealant applied. All connections shall be galvanized or stainless steel.
- 2.5 Wrought iron fencing may be installed as ~~approved as~~ part of a block wall. See Specifications-Standard Section 6 for block walls.
- 2.6 Openings ~~for with~~ gates are permissible. Openings may only open onto designated pathways. Openings are not permitted onto Common Area.
- 2.7 Block walls with wrought iron fencing may be installed between the existing entry columns, and between an entry column and an

adjacent wall, of single story manors. Common Area Agreements will be required when the Condominium Plan designates the location of the alteration as Mutual Common Area.

- 2.8 All wrought iron shall be painted in accordance with the Mutual's painting policy- ~~black, white, or the color of the wall of which it's attached. If existing wrought iron fencing or gates are present on the subject building, the color of these fences and gates shall set precedence.~~
- 2.9 Removal of decorative wrought iron over windows and security bars over windows is permitted.

### 3.0 **SPRINKLER REVISIONS**

- 3.1 Sprinklers will be revised only by the ~~managing agent's~~Staff landscape crews, and the cost of such revisions shall be at the expense of the ~~resident owner~~Member of that unit.
- 3.2 No sprinklers will be placed inside any patio area by the managing agent's landscape crews, ~~and nor shall~~ any sprinkler systems added shall ~~not~~ be connected to the Mutually-owned system.





## STAFF REPORT

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**DATE:** January 18, 2018  
**FOR:** Architectural Control and Standards Committee  
**SUBJECT:** Variance Request  
Mr. Rodolfo Alvarez of 3064-A (San Clemente, OO03\_2)  
Window Modifications to Kitchen and Bedroom

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### **RECOMMENDATION**

Staff recommends the Board deny the request for a window relocation in kitchen and to approve the request to relocate a bedroom window with the conditions as stated in Appendix A.

### **BACKGROUND**

Mr. Alvarez of 3064-A Via Serena South, a San Clemente style Manor, is requesting Board approval of a variance to relocate his kitchen master bedroom windows (see Attachment 1).

The cost of the proposed alteration would be borne by the Member.

Due to the kitchen window relocation not conforming to similar windows of the surrounding units and the large dimensions of the master bedroom window, Staff seeks Board approval prior to issuing Mutual Consent.

### **DISCUSSION**

Mr. Alvarez is proposing to relocate the existing four foot, ten inch wide by three foot tall kitchen window away from the sliding glass door by thirty-six inches. The existing head and sill height of the window would remain the same as existing, while white vinyl will be used to meet the existing Mutual Standards for windows. The San Clemente floor plan is a U-shaped building where all kitchen windows and doors face into a courtyard. In order to maintain consistency of the buildings' appearance, Staff recommends denying the relocation request.

Mr. Alvarez is also proposing to remove the southeast master bedroom window (see Attachment 4) that measures seven feet, eleven inches wide by six feet, four inches tall, fill the area with wood frame with stucco finish to match the rest of the building and install a new sliding window on the northeast facing wall measuring six-feet wide by three-foot, six-inch tall.

All windows will be retrofit with white vinyl for consistency.

The architectural drawings for a typical San Clemente model unit showing let-in (diagonal) bracing on the same wall as the proposed new bedroom window, Staff had included a condition to provide structural drawings signed and wet stamped by a licensed architect or structural engineer prior to a Mutual Consent being issued. Additionally, Staff will add a condition that the entire wall receives new stucco to ensure consistent appearance.

A City permit for the new construction window would ensure building code is met for structural integrity, light and egress.

There are no previous examples on file for either the kitchen or master bedroom window relocations.

At the time of preparing this report, there are eight open Mutual Consents for Manor 3064-A as part of a unit remodel.

Open Mutual Consents 3064-A		
Description	Issued Date	Mutual Permit
Water Heater Relocation	12/14/2017	172575
Demo Acoustic	12/14/2017	172575
Wall Revision in Kitchen	12/14/2017	172575
Electrical Throughout	12/14/2017	172575
Washer & Dryer	12/14/2017	172575
Shower to Shower	12/14/2017	172575
Retrofit all Windows	12/14/2017	172575
Retrofit all Sliding Glass Doors	12/14/2017	172575

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3064-A

**Prepared By:** Gavin Fogg, Alterations Inspector

**Reviewed By:** Kurt Wiemann, Permits, Inspections & Restoration Manager

**ATTACHMENT(S)**

Appendix A: Conditions of Approval  
Attachment 1: Site Plan  
Attachment 2: Variance Request  
Attachment 3: Photos  
Attachment 4: Map

## APPENDIX A

### CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. No improvement shall be installed, constructed, modified or altered at Manor **3064-A**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
2. A Mutual Consent for Manor Alterations has been granted at **3064-A** for **Window relocation in Master Bedroom**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
3. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3064-A and all future Mutual members at 3064-A.
5. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
6. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.

7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.

8. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.

10. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Manor Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.

11. Prior to the issuance of a Mutual Consent for Manor Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement. Prior to the issuance of a Mutual Consent for Manor Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.

12. Any stucco patch shall match existing adjacent stucco walls in color and texture. If any stucco is removed to accomplish the alteration, the entire wall shall receive new stucco finish to ensure consistent appearance.

13. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

14. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the

Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

15. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

16. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

17. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.

18. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

19. During construction, both the Mutual Consent for Manor Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.

20. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

21. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

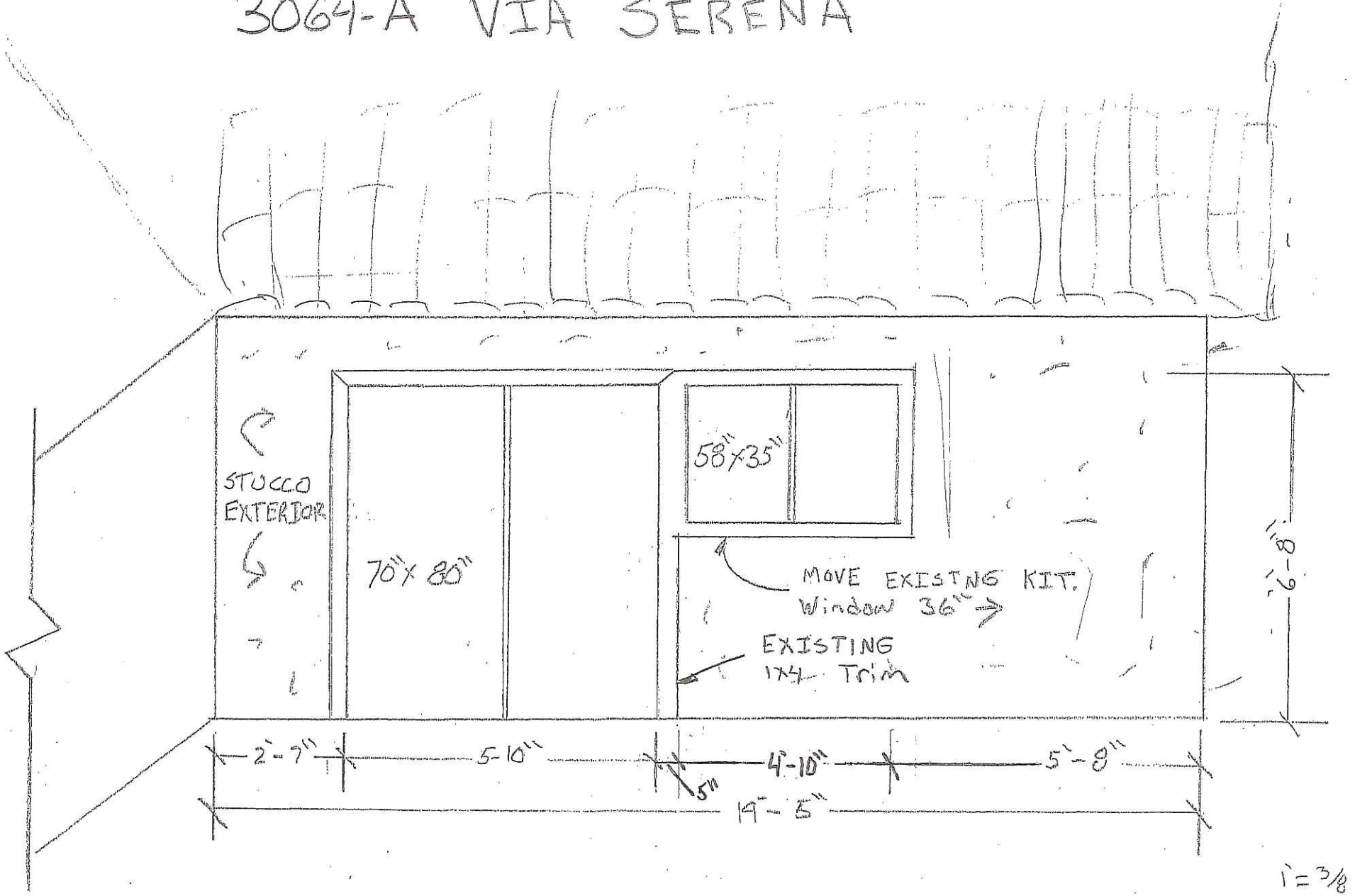
22. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

23. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.

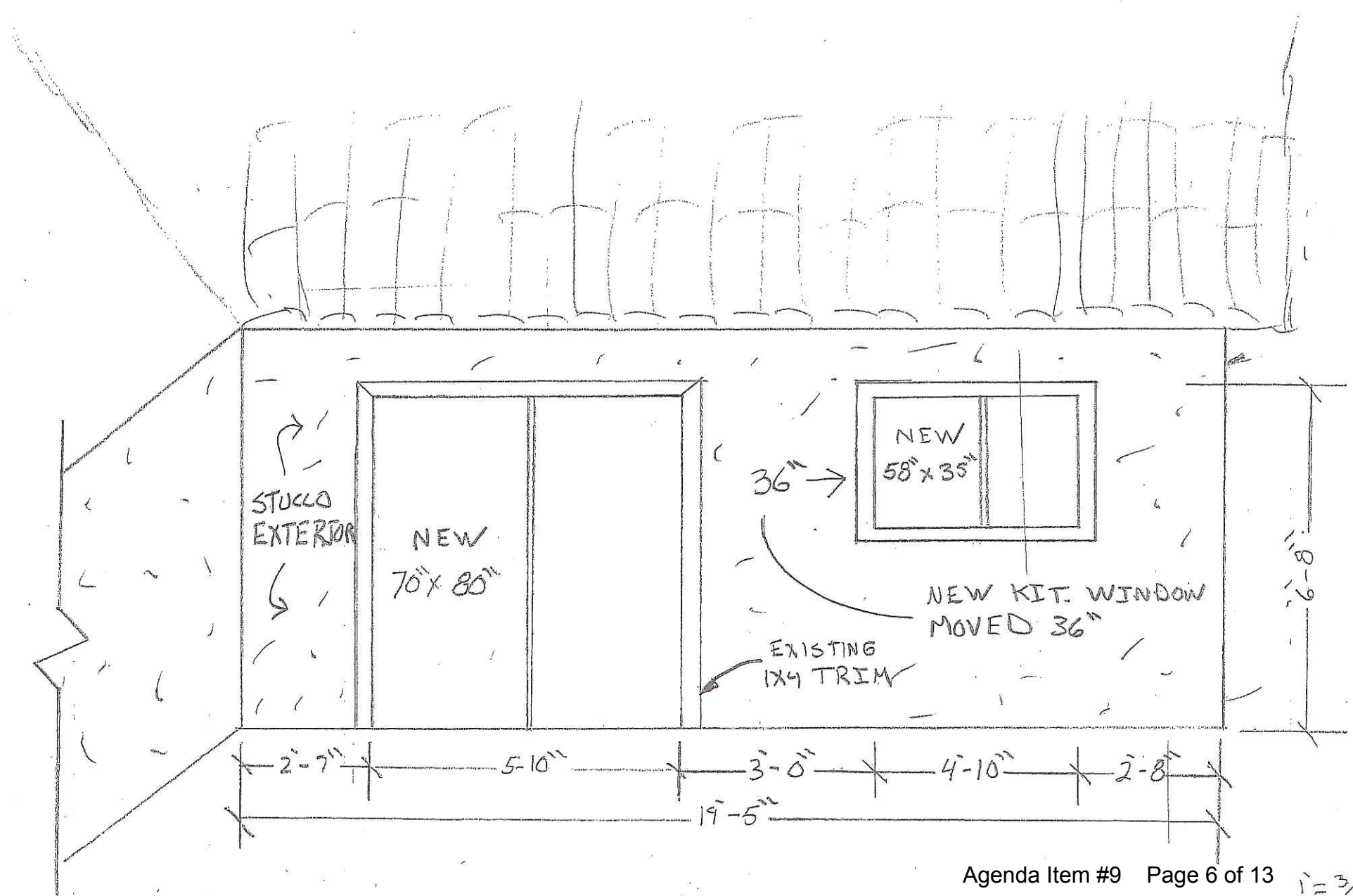


EXISTING WINDOW ELEVATION #1  
KITCHEN WINDOW

3064-A VIA SERENA

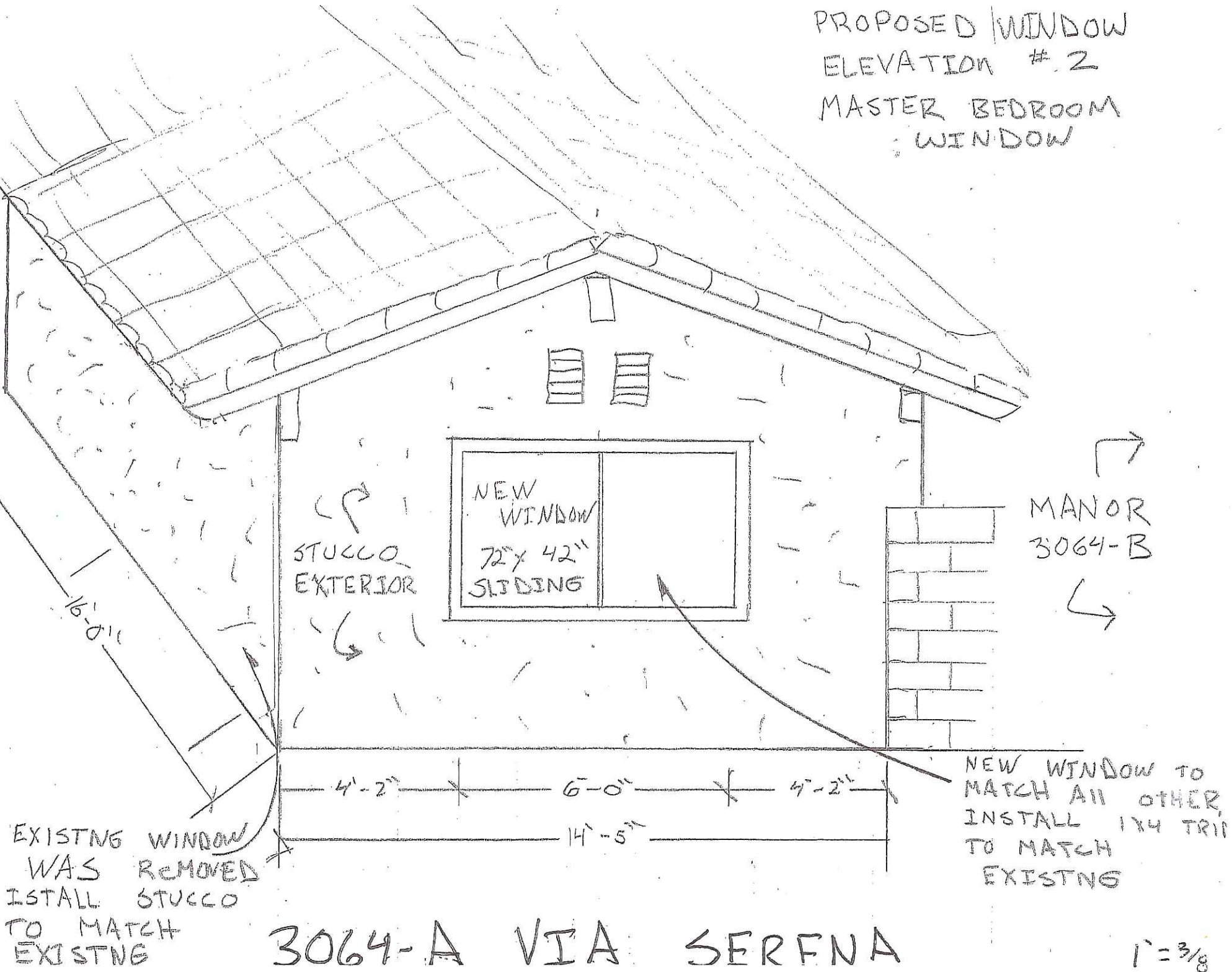


PROPOSED WINDOW ELEVATION #1  
KITCHEN WINDOW

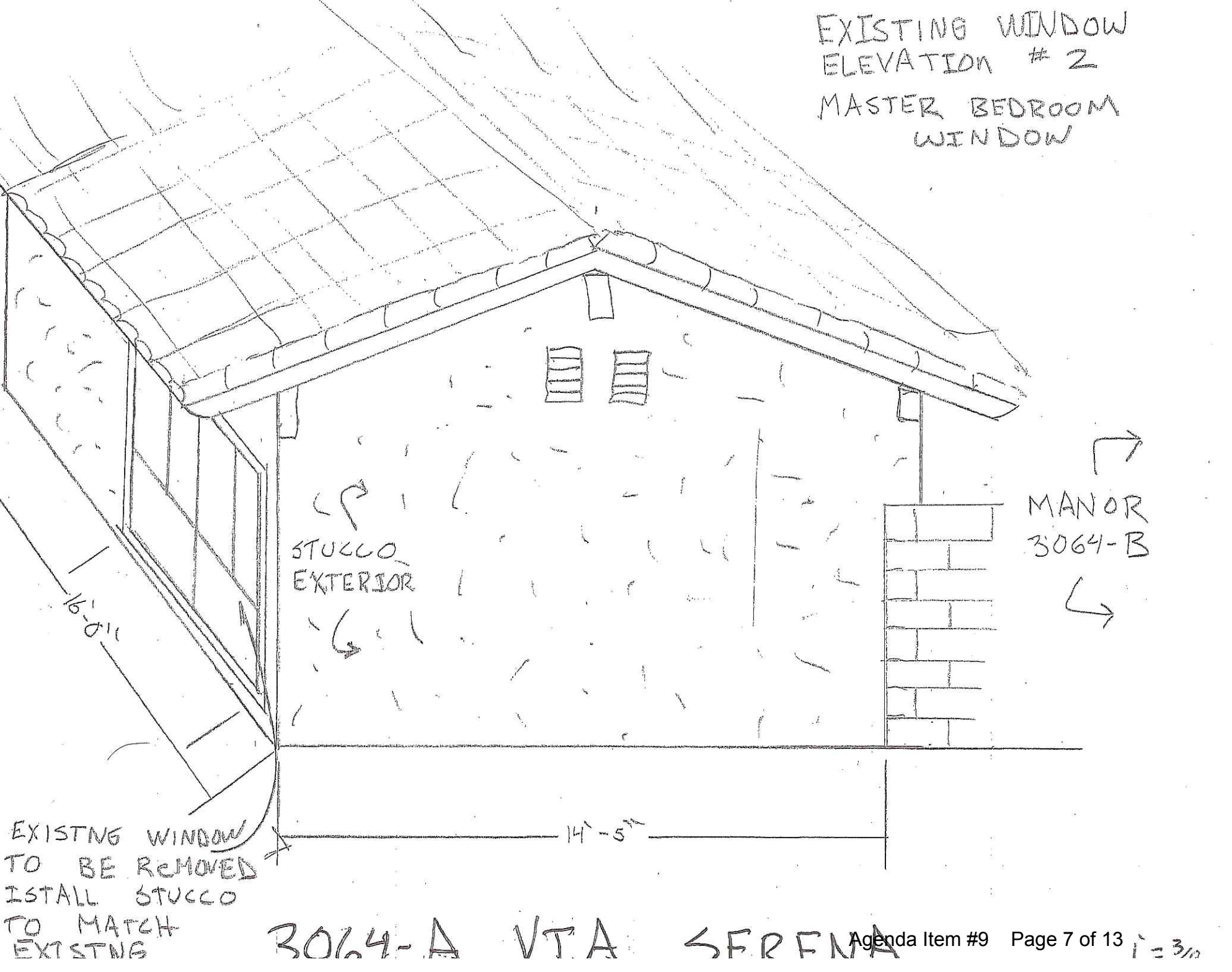




PROPOSED WINDOW  
ELEVATION # 2  
MASTER BEDROOM  
WINDOW



EXISTING WINDOW  
ELEVATION # 2  
MASTER BEDROOM  
WINDOW



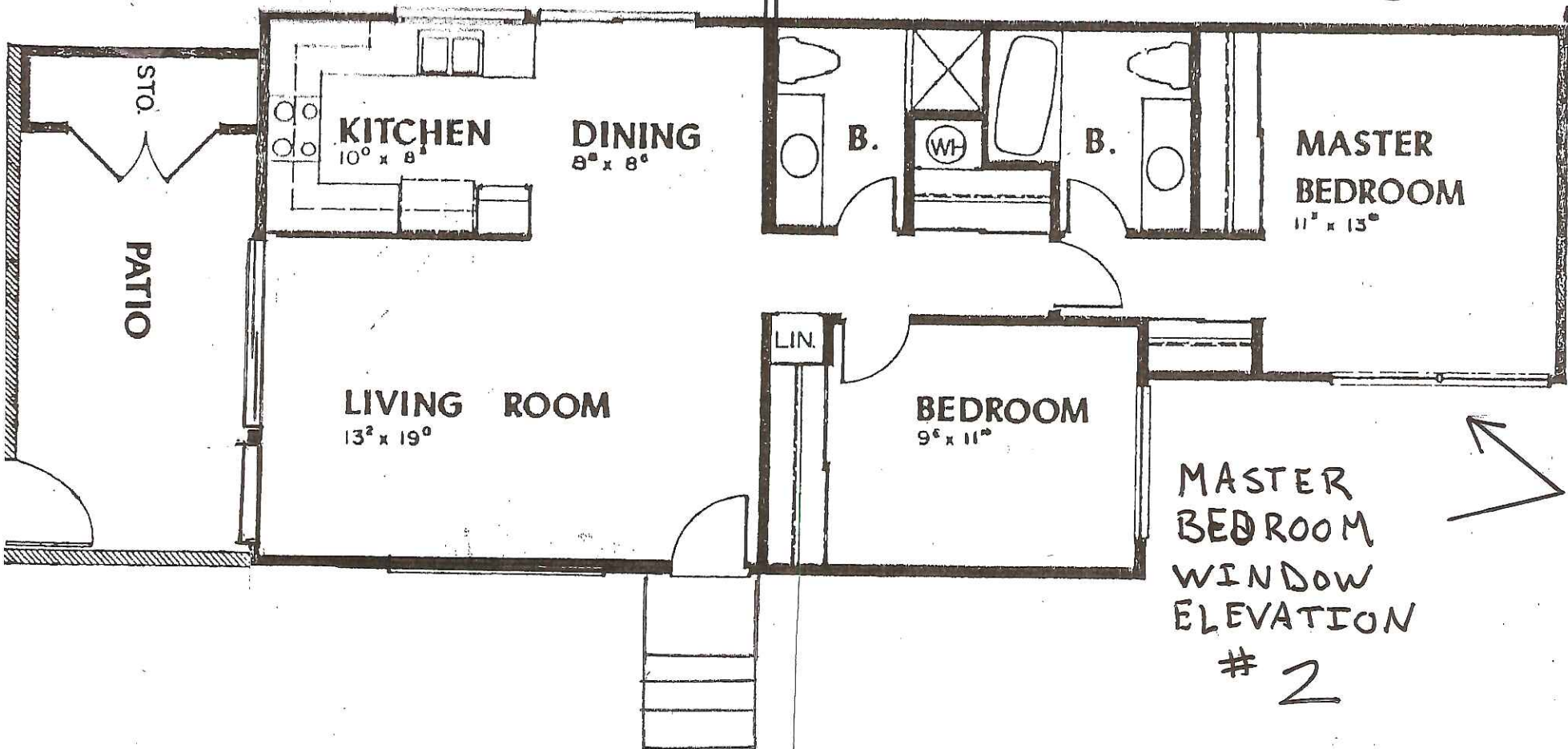


KITCHEN WINDOW ELEVATION #1

existing

MANOR 3064-B

MASTER BEDROOM WINDOW ELEVATION #3



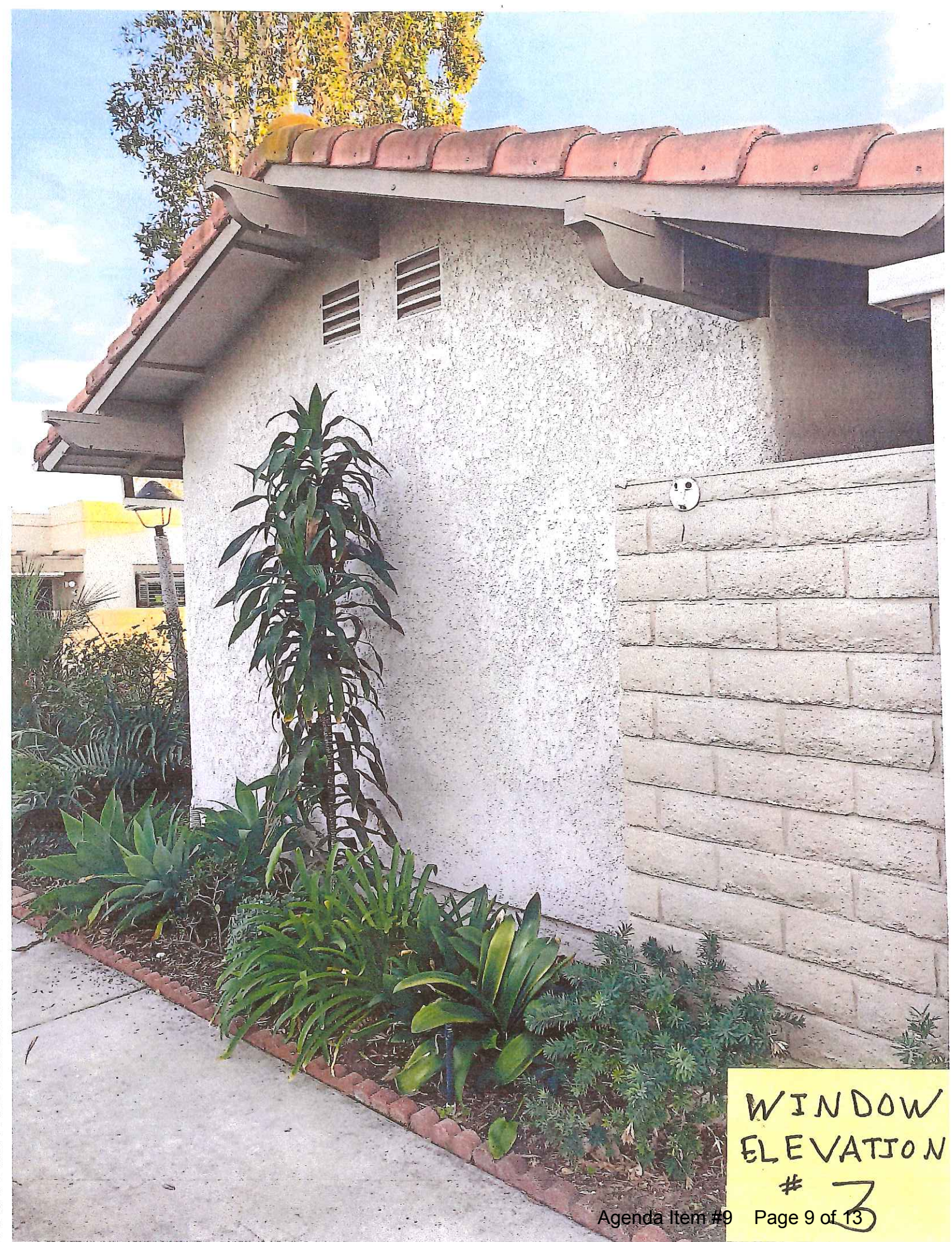
3064-A VIA SERRENA







WINDOW  
ELEVATION  
# 2



WINDOW  
ELEVATION  
# 3



## Variance Request Form

SA 21206404

Attachment: 2

Model: <u>San Clemente</u>	Plan: <u>0003-2</u>	Date: <u>Dec 8, 2017</u>
Member Name: <u>Rodolfo Alvarez</u>	Signature: <u>Rodolfo Alvarez</u>	
Phone: [REDACTED]	Email: [REDACTED]	
Applicant Name/Co: <u>MYKATON Const</u>	Phone: [REDACTED]	Email: [REDACTED]

## Description of Proposed Variance Request ONLY:

(Kitchen) Re-locate Kitchen window (58" x 35") Location Move 36" to corner of Kitchen to center Move in Kitchen Area

(Master Bedroom) Install new 72" x 42" window on wall Facing North, to take Advantage of View

## Dimensions of Proposed Variance Alterations ONLY:

Kitchen Window: Crystal Pacific 4'-10" x 3'-0" White Vinyl, Double Pan Glass, New construction

Master Bedroom

Window : Crystal Pacific 6'-0" x 3'-6" White Vinyl, Double Pan Glass, new construction

## FOR OFFICE USE ONLY

RECEIVED BY: Abraham B DATE RECEIVED: 12-12-17 Check# 4815 BY: Mykaton Construction Company

## Alteration Variance Request

## Check Items Received:

- ☒ Drawing of Existing Floor Plan  
☒ Drawing of Proposed Variance  
☒ Dimensions of Proposed Variance  
☒ Before and After Pictures  
☐ Other: \_\_\_\_\_

Complete Submittal Cut Off Date: 12-20-17

## Meetings Scheduled:

Third AC&S Committee (TACSC): 1-18-18

United M&amp;C Committee: \_\_\_\_\_

Board Meeting: 2-20-17☐ Denied☐ Approved☐ Tabled☐ Other \_\_\_\_\_



## Attachment: 3

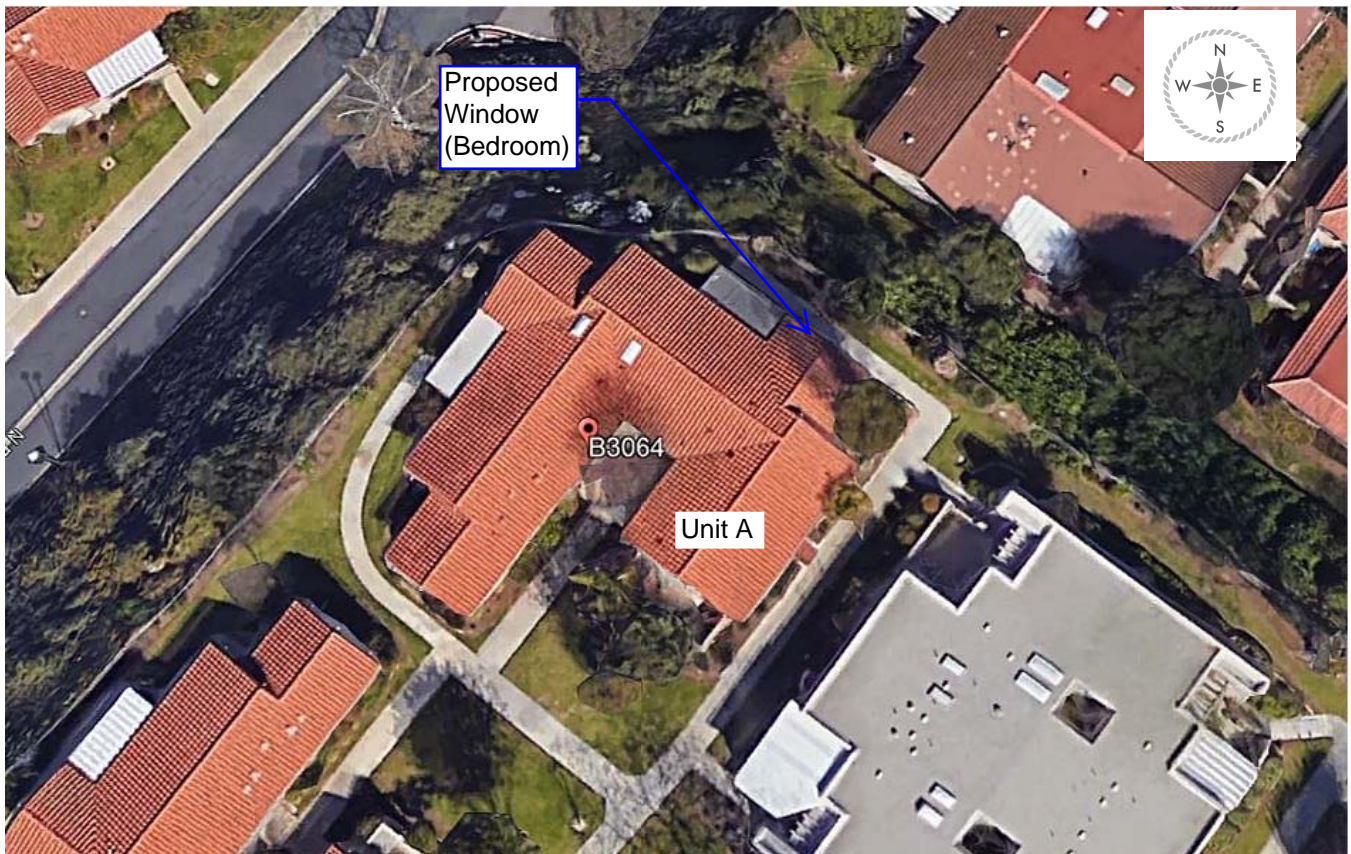








## Attachment: 4







## STAFF REPORT

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**DATE:** January 17, 2018  
**FOR:** Architectural Control and Standards Committee  
**SUBJECT:** Variance Request  
Ms. Sondra Baren of 3386-C (Andaluz, P203RA)  
Retain Non-Standard Front Entry Door Color

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### **RECOMMENDATION**

Staff seeks recommendation for the Board to retain a non-standard color (green) for the front entry door per the Conditions of Approval shown in Appendix A.

### **BACKGROUND**

In April 2017, Ms. Baren received Board approval for a Variance Request that permitted kitchen and bedroom extensions, adding of a window in living room, and the relocation of the entry door in via Variance Request.

Following completion of the project, the City final permit had been received and a final inspection for the Mutual Consents was scheduled; during that final inspection, a non-standard entry door color was noted and a correction ticket entered.

A variance application to retain the door color was submitted on December 1, 2017. An unauthorized alteration ticket was created for Compliance on December 4, 2017.

### **DISCUSSION**

Ms. Baren is requesting to retain the green color used on his entry door. The door is not directly visible from the street.

Third Mutual Alteration Standards Section 10 - Doors, Exterior (Revised March 2003), paragraph 3.1 states, "All doors shall be painted or stained to maintain an appearance that conforms to the approved paint color criteria as dictated by the Mutual's Policy on Exterior Paint Colors and Procedures." The current color scheme for Building 3386 during the last paint program visit in 2013 used Basic Khaki, Woodruff and White High Hiding. Green was not an option for that building's scheme.

The Board approved requests for non-standard entry door colors for Manors 3433-B in March 2013, 3377-A in June 2013, 3304-N in February 2014, 5365-C in July 2015, 5072 in September 2015, 3459-A in March 2016, 3415-B in June 2016, 3044-B in September 2017, and 3421-3A in December 2017 .

At the time of preparing this report, there are fifteen open Mutual Consents for Manor 3386-C as part of a unit remodel; final approval is pending the Board's decision on this variance.

Open Mutual Consents 3386-C		
Description	Issue Date	Mutual Permit
New Window in Living Room	3/16/2017	170349
Wall Revision in Bedroom	3/16/2017	170349
Tub to Shower	3/16/2017	170349
Electrical Throughout	3/16/2017	170349
Door Revision, Entry	3/16/2017	170349
Tile on Patio	3/16/2017	170349
Solatube in Bathroom	3/16/2017	170349
Solatube in Bathroom	3/16/2017	170349
Retrofit all Windows	3/16/2017	170349
Retrofit all Sliding Glass Doors	3/16/2017	170349
Central HVAC	8/3/2017	171663
Tile on Walkway	9/21/2017	172054
Tile on Patio	9/21/2017	172054
Wrought Iron Fence	10/2/2017	172095
Wrought Iron Gate	10/2/2017	172095

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3386-C

A Neighbor Awareness Notice was distributed to Manors 3387 and 3390-A due to proximity and possible line of sight.

**Prepared By:** Gavin Fogg, Alterations Inspector

**Reviewed By:** Kurt Wiemann, Permits, Inspections & Restoration Manager

#### **ATTACHMENT(S)**

Appendix A: Conditions of Approval

Attachment 1: Variance Request

Attachment 2: Photos

Attachment 3: Map



## APPENDIX A

### CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. No improvement shall be installed, constructed, modified or altered at Manor **3386-C**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Manor Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Manor Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
2. A Mutual Consent for Manor Alterations has been granted at **3386-C** for **retaining non-standard entry door color**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
3. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3386-C and all future Mutual members at 3386-C.
5. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
6. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
7. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure

no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.

8. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.

9. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.

10. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.

11. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.

12. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.

13. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

14. The Mutual Consent for Manor Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.

15. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the

Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.

16. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance same



Laguna Woods Village.

# Variance Request Form

MANOR # 3386C

☐ ULWM

☒ TLHM

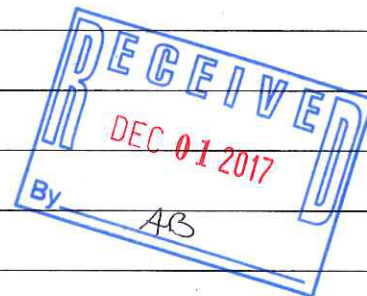
SA 21203349

**Attachment: 1**

Model: <u>Andaluz</u>	Plan: <u>P303B</u>	Date: <u>December 1</u> <u>Oct 31 2017</u>
Member Name: <u>Sondra Baren</u>	Signature: <u>[Signature]</u>	
Phone: <u>[Redacted]</u>	Email: <u>[Redacted]</u>	
Applicant Name/Co: <u>Same</u>	Phone: <u>[Redacted]</u>	

## Description of Proposed Variance Request ONLY:

To keep my entry door the green color it was painted



## Dimensions of Proposed Variance Alterations ONLY:

entry door 3 feet by 6 1/2 ft. entry door

## FOR OFFICE USE ONLY

RECEIVED BY: Abraham B DATE RECEIVED: 12/1/17 Check# 286 BY: Sondra Baren

<b>Alteration Variance Request</b>  Check Items Received: <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input checked="" type="checkbox"/> Other: <u>pictures of neighbors garage doors &amp; my green entry door</u>	<b>Complete Submittal Cut Off Date:</b> <u>12-20-17</u>  <b>Meetings Scheduled:</b> Third AC&S Committee (TACSC): <u>1-22-18</u> United M&C Committee: _____ Board Meeting: _____  <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____
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## Variance Request

The entry door of my home at 3386 C Punta Alta was painted green when I remodeled my house in July 2017. I was unaware that this color was not part of my paint option because it is very similar to the Khaki Green from color group Option 1 and Smokey Green from color group Option 12 on your chart. The chart also show that an accent color can be an entry door or a garage door.

I have enclosed pictures of my neighbors' garage doors on my street and my entry door, they are very similar in color. One neighbor even has a different color green door, but they didn't want me to take a picture of their door. I have enclosed a picture from the street and please notice my front door is not visible from the street.

I would appreciate you allowing me to keep my green door for several reasons. My only choices are white which would be very bright because of the afternoon sun and way it shines on my house. My other choice is a dark depressing brown color. My green door blends with everyone's' garages in our neighborhood and it makes me smile every time I enter my home.

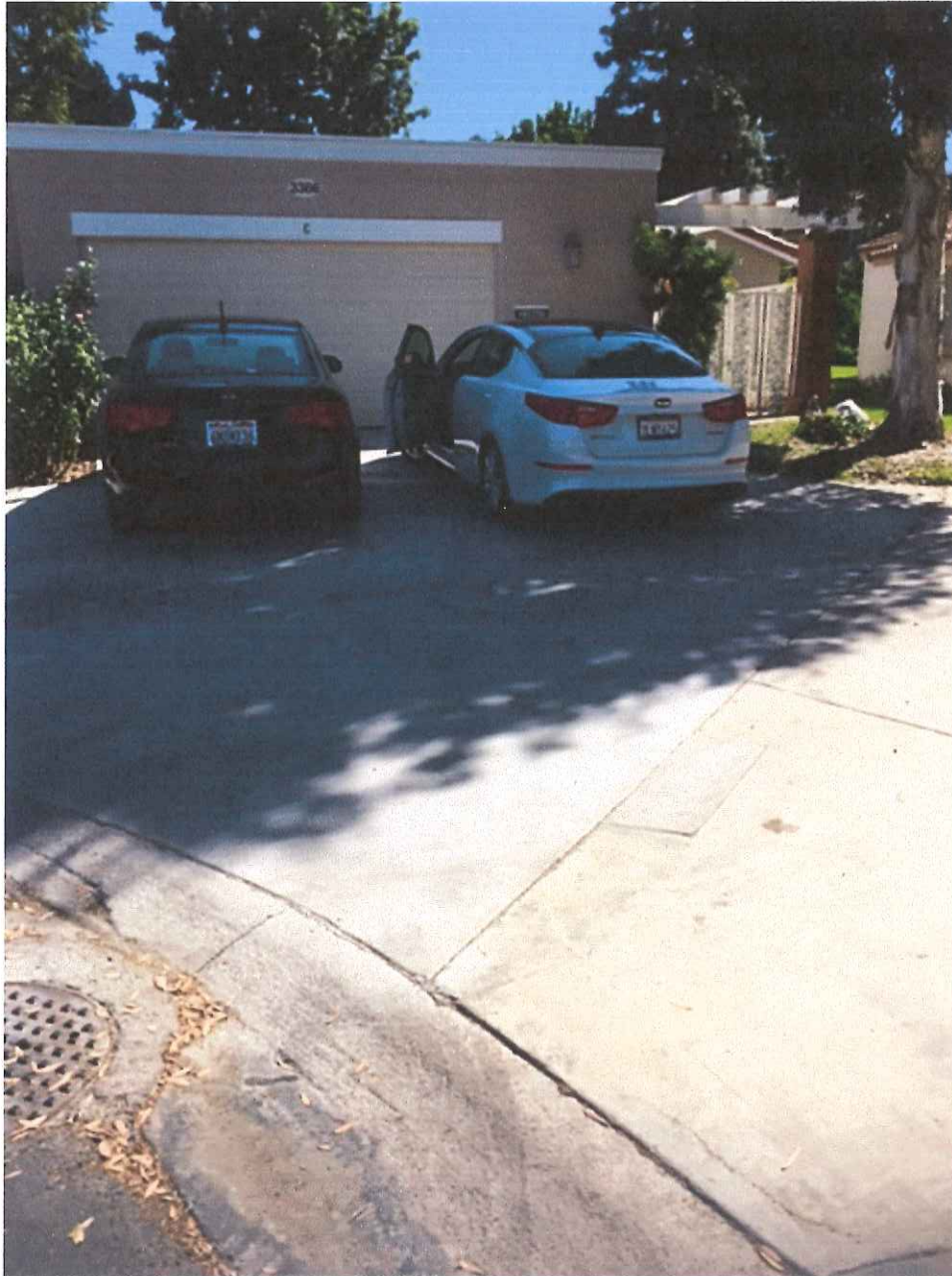
Sondra Baren



Front door  
3386 C Punta Alta



Front of House from the street  
3386 C Punta Delta





front door from the front walkway  
3386 C Santa Alta





3390 A  
across the street





3390 B





Attachment: 2





View From Street



View from 3887 Driveway





## Attachment: 3



## **RESOLUTION 03-18-XX**

### **Revise Alteration Standard Section 17 - Gates**

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary;

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to Revise Alteration Standard Section 17 – Gates.

**NOW THEREFORE BE IT RESOLVED**, March 20, 2018, that the Board of Directors of this Corporation hereby revises the following sections of Alteration Standard Section 17 - Gates;

#### **2.0 APPLICATIONS – PATIO WALLS**

- 2.1** No single gate will be of two pieces or require more than three hinges for attachments.
- 2.2** All gates will be painted to match the color of the wall or the building in accordance with Mutual painting policy.
- 2.3** Gates may be installed that open into limited common area; also where limited access to entryways does not obstruct necessary access to common areas.
- 2.4** Gates will be constructed of wood, vinyl, or wrought iron only.
- 2.5** Gates shall match existing design and construction.
- 2.6** Gates shall be no higher than the wall in which they are part of, with the exception of decorative or radiused finished tops.

#### **4.3.0 APPLICATIONS – PATIO RAILINGS IN THREE STORY BUILDINGS**

This Section Addresses Gates Cut Into Existing, Metal or Wood, Patio Railings in Three Story Buildings.

- 2.3.1** Gates can be installed only if the Common Area made accessible by the gate is safe to traverse considering factors such as the slope of the land and the landscaping, as determined by Staff.
- 3.3.2** A site visit inspection by the Alterations Inspector will be required prior to the issuance of a permit for a gate installation.
- 4.3.3** The opening cut into the railing for the gate must be a minimum of 24" and a maximum of 36" wide.
- 5.3.4** Gates will be constructed and painted to match the existing railing.
- 6.3.5** Where cuts have been made they will be finished to prevent injuries. Horizontal wrought iron bars must be capped, or sealed to prevent moisture intrusion. Caps must be steel, plastic caps are prohibited.

~~7.3.6~~ Vertical bars of the same size and shape as the railing's original bars must finish the ends of the gate and railing where they have been cut. These vertical bars must be capped, ~~or otherwise sealed,~~ to prevent moisture intrusion. Caps must be steel, plastic caps are prohibited.

~~8.3.7~~ Gates should be positioned in either side of the railing, and not the front, be clear of obstructions, and designed to swing so that they provide access to a safe passage with minimal impact on the landscaping. The gates must be able to open fully, at least 90 degrees, without striking objects on adjacent walls or in the landscape. If the gate opens onto the patio it must not obstruct the manor doorway that accesses the patio.

~~9.~~ ~~A landing the length of the gate opening and 36" wide may be required to be constructed to be even with the grade of the patio. Site-specific plans, including method of attachment to the existing patio, inclusive of any necessary moisture barrier, must be submitted for consideration.~~

~~10.~~ ~~Steps, positioned along the side of the patio must be provided to reach the landing if the distance from the surface of the landing to the ground is greater than 7.5". No step may have a rise of over 7.5", or a tread of less than 11". Steps will be 36" wide to match the width of the landing. If more than one step is required the rise for each of the steps may not vary by more than 3/8" from one another. Maximum number of steps is four (4) with no more than a 30 inch rise.~~

~~11.3.8~~ All required landscaping and irrigation revisions will be performed by the Mutual at the Member's expense.

~~Should the height of the patio require installation of steps and a stoop in Common Area, in addition to the required landing, the applicant is required to execute and submit to Third Laguna Hills Mutual, prior to installation of the landing, steps, and stoop, the "Agreement Regarding Patio Ingress/Egress Installation on Common Area Property" or similarly titled document.~~

~~12.3.9~~ Personal items cannot be located outside of the patio in the Common Area made accessible by the gate, or on the landing, steps, or stoop.

~~4.0~~ Concrete stoops, stepping stones, or paving stones are not allowed in Common Area outside of the patio where the gate is located.

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30-days from the postponement to comply with Civil Code §4360.



# THIRD LAGUNA HILLS MUTUAL

## SECTION 17 GATES

SEPTEMBER 1981

REVISED APRIL 1996, RESOLUTION M3-96-28

REVISED MAY 2008, RESOLUTION 03-08-42

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REMOVED JANUARY 2018, RESOLUTION 03-18-XX

REVISED MARCH 2018, RESOLUTION 03-18-XX

FOR GENERAL REQUIREMENTS SEE SECTION 1  
GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

### 1.0 GENERAL REQUIREMENTS

- 1.1 PERMITS AND FEES: A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- 1.2 MEMBERS' RESPONSIBILITY: The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- 1.3 CODES AND REGULATIONS: All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 WORK HOURS: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.
- 1.5 PLANS: The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.

~~1.6 — **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~

~~1.7 — **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~

~~1.8 — **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## **2.0 APPLICATIONS – PATIO WALLS**

2.1 No single gate will be of two pieces or require more than three hinges for attachments.

2.2 All gates will be painted to match the color of the wall or the building in accordance with Mutual painting policy.

2.3 Gates may be installed that open into limited common area; also where limited access to entryways does not obstruct necessary access to common areas.

2.4 Gates will be constructed of wood, vinyl, or wrought iron only.

2.5 Gates shall match existing design and construction.

2.6 Gates shall be no higher than the wall in which they are part of, with the exception of decorative or radiused finished tops.

## **3.0 APPLICATIONS – PATIO RAILINGS IN THREE STORY BUILDINGS**

~~3.1~~ This Section Addresses Gates Cut Into Existing Metal, Or Wood, Patio Railings In Three Story Buildings.

~~3.23.1~~ Gates can be installed only if the Common Area made accessible by the gate is safe to traverse considering factors such as the slope of the land and the landscaping, as determined by Staff.

~~3.33.2~~ A site visit inspection by the Alterations Inspector will be required prior to the issuance of a permit for a gate installation.

**3.43.3** The opening cut into the railing for the gate must be a minimum of 24" and a maximum of 36" wide.

**3.53.4** Gates will be constructed and painted to match the existing railing.

**3.63.5** Where cuts have been made they will be finished to prevent injuries. Horizontal wrought iron bars must be capped, or sealed to prevent moisture intrusion. Caps must be steel, plastic caps are prohibited.

**3.73.6** Vertical bars of the same size and shape as the railing's original bars must finish the ends of the gate and railing where they have been cut. These vertical bars must be capped, ~~—or otherwise sealed,~~ to prevent moisture intrusion. Caps must be steel, plastic caps are prohibited.

**3.83.7** Gates should be positioned in either side of the railing, and not the front, be clear of obstructions, and designed to swing so that they provide access to a safe passage with minimal impact on the landscaping. The gates must be able to open fully, at least 90 degrees, without striking objects on adjacent walls or in the landscape. If the gate opens onto the patio it must not obstruct the manor doorway that accesses the patio.

~~**3.9A** landing the length of the gate opening and 36" wide may be required to be constructed to be even with the grade of the patio. Site-specific plans, including method of attachment to the existing patio, inclusive of any necessary moisture barrier, must be submitted for consideration.~~

~~**3.10** Steps, positioned along the side of the patio must be provided to reach the landing if the distance from the surface of the landing to the ground is greater than 7.5". No step may have a rise of over 7.5", or a tread of less than 11". Steps will be 36" wide to match the width of the landing. If more than one step is required the rise for each of the steps may not vary by more than 3/8" from one another. Maximum number of steps is four (4) with no more than a 30 inch rise.~~

**3.113.8** All required landscaping and irrigation revisions will be performed by the Mutual at the Member's expense.

~~**3.12** Should the height of the patio require installation of steps and a stoop steps and a stoop in Common Area, in addition to the required required landing, the applicant is required to execute and submit to execute and submit to Third Laguna Hills Mutual, prior to to installation of the landing, steps, and stoop, the "Agreement the "Agreement Regarding Patio Ingress/Egress Installation on~~

~~Installation on Common Area Property” or similarly titled document.  
titled document.~~

~~3.133.9~~ Personal items cannot be located outside of the patio in the Common Area made accessible by the gate, or on the landing, steps, or stoop.

~~4.0 Concrete stoops, stepping stones or paving stones are not allowed in Common Area outside of the patio where the gate is located.~~

~~3.13~~



# THIRD LAGUNA HILLS MUTUAL

## SECTION 18 GUTTERS & DOWNSPOUTS

OCTOBER 1981

REVISED APRIL 1996 RESOLUTION M3-96-28

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

**GENERAL REQUIREMENTS REMOVED JANUARY 2018, RESOLUTION 03-18-XX**

**REVISED MARCH 2018, RESOLUTION 03-18-XX**

**FOR GENERAL REQUIREMENTS SEE SECTION 1**  
**GENERAL REQUIREMENTS FOR ALTERATION STANDARDS**

### **1.0 — GENERAL REQUIREMENTS**

- 1.1 — PERMITS AND FEES:** A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- 1.2 — MEMBERS' RESPONSIBILITY:** The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- 1.3 — CODES AND REGULATIONS:** All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 — WORK HOURS:** No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.
- 1.5 — PLANS:** The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.

- ~~1.6 — **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~
- ~~1.7 — **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~
- ~~1.8 — **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## 2.0 APPLICATIONS

- 2.1 A splashblock will be required in areas where a downspout empties into an area in which erosion may result.
- 2.2 No downspout may be installed that will drain into an area that will effect yard drainage in an adverse way.
- 2.3 Applications to roofs where hangers penetrate or may harm the roofing in any way ~~will not be allowed~~ are prohibited.
- 2.4 All gutters and downspouts will be of the same type as to match existing gutters on the building.
- 2.5 Gutters and downspouts will be of the same color to match the surface they are attached to.

## **RESOLUTION 03-18-XX**

### **Revise Alteration Standard Section 19 Balcony Modesty Paneling**

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary;

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to Revise Alteration Section 19 Balcony Modesty Paneling.

**NOW THEREFORE BE IT RESOLVED**, March 20, 2018, that the Board of Directors of this Corporation hereby revises the following sections of Alteration Section 19 Balcony Modesty Paneling;

#### **2.0 APPLICATIONS**

- 2.1 All modesty panels will be attached directly to the railing. No panels shall be attached to the building, deck, or flooring.
- 2.2 Paneling height may be up to one foot lower than the top railing; and ~~must reach fully to~~ extend no further than the bottom of the railing. Paneling shall not extend to the balcony deck. Paneling ~~will~~ must cover the railing completely from side to side, and will not extend beyond any existing railing.
- 2.3 All paneling will be rigid and easily removable.
- 2.4 Corrugated fiberglass, ~~masonite~~ Masonite, and other ~~such less non-~~ weather-proof items ~~will not be permitted~~ are prohibited.
- 2.5 Paneling may be of white vinyl lattice, ~~or~~ metal or approved alternate weatherproof material. Panel material shall not that ~~has~~ ve ~~no~~ any openings or gaps and is painted to match the color of the wall to which the railing is attached.
- 2.6 Paneling will be attached only to the inside portion of handrails.

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30-days from the postponement to comply with Civil Code §4360.



# THIRD LAGUNA HILLS MUTUAL

## SECTION 19 BALCONY MODESTY PANELING

JANUARY 1989

APRIL 1996, RESOLUTION M3-96-28

REVISED JANUARY 2007, RESOLUTION 03-07-01

REVISED APRIL 2011, RESOLUTION 03-11-50

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REMOVED JANUARY 2018, RESOLUTION 03-18-XX

REVISED MARCH 2018, RESOLUTION 03-18-XX

### FOR GENERAL REQUIREMENTS SEE SECTION 1 GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

#### 1.0 — GENERAL REQUIREMENTS

1.1 — PERMITS AND FEES: A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.

1.2 — MEMBERS' RESPONSIBILITY: The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.

1.3 — CODES AND REGULATIONS: All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).

1.4 — WORK HOURS: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction-related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.

1.5 — PLANS: The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval

~~indicating all work to be done, i.e., size, location, description and specifications.~~

~~1.6 **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "BROOM CLEAN" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~

~~1.7 **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~

~~1.8 **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## 2.0 APPLICATIONS

2.1 All modesty panels will be attached directly to the railing. No panels shall be attached to the building, deck, or flooring.

2.2 Paneling height may be up to one foot lower than the top railing; and ~~must reach fully to extend no further than~~ the bottom of the railing. Paneling shall not extend to the balcony deck. Paneling ~~will~~ must cover the railing completely from side to side, and will not extend beyond any existing railing.

2.3 All paneling will be rigid and easily removable.

2.4 Corrugated fiberglass, ~~masonite~~ Masonite, and other ~~such less non-~~ weather-proof items will not be permitted are prohibited.

**2.5** Paneling may be of white vinyl lattice, ~~or metal~~ or approved alternate weatherproof material. Panel material shall not have any openings or gaps and is painted to match the color of the wall to which the railing is attached.

**2.6** Paneling will be attached only to the inside portion of handrails.



## **RESOLUTION 03-18-XX**

### **Revise Alteration Standard Section 21 Patio Slabs**

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to amend Alteration Standards and create new Alteration Standards as necessary;

**WHEREAS**, the Architectural Controls and Standards Committee recognizes the need to Revise Alteration Section 21 Patio Slabs.

**NOW THEREFORE BE IT RESOLVED**, March 20, 2018, that the Board of Directors of this Corporation hereby revises the following sections of Alteration Section 21 Patio Slabs;

#### **3.0 APPLICATIONS**

~~4.3.1~~ Patios may be constructed of a concrete slab or interlocking concrete pavers only.

~~2.3.2~~ Planting or dirt areas inside the defined patio walls may be paved over with concrete or interlocking pavers providing the paving does not extend beyond the wall.

~~3.~~ Concrete slabs will be 4" minimum ~~in~~ thickness and will be ~~required to be constructed~~ of 520-C-2500 concrete 2000 P.S.I. strength within 28 days. ~~Welded Wire~~ mesh ~~or or~~ #3 rebar and a vapor barrier with minimum of 1" sand cover are required. ~~as part of the installation.~~

~~4.3.3~~ All installations must have a minimum slope of ¼" per foot and drain to drain inlets or landscaping.

~~5.3.4~~ Interlocking paver installations must use treated wood, redwood or plastic edging. ~~and Edging shall be~~ secured ~~edging~~ in place per manufacturer's specifications.

~~6.3.5~~ Interlocking paver installations must use a "Class 2" subbase of a minimum of 4 inches deep and must use a coarse sand layer of at least 1 inch thick as bedding for pavers. Paved area must be compacted with a vibrating flat plate to lock pavers into place.

~~7.3.6~~ Pavers may be 7/8 of an inch to one inch thick if overlayed overlaid on an existing concrete slab. Otherwise pavers must be 2 3/8-inches thick.

~~8.3.7~~ Pavers may not form or contain any pictures, symbols or wording.

~~3.8~~ Refer to Section 11 – Exterior Floor Coverings for parameters specifications regarding covering patio slabs.

~~9.3.9~~ Patio slab extensions shall not encroach into Common Area.

#### **4.0     SPRINKLER REVISIONS**

- 4.1     Any required landscape or irrigation revisions will be performed only by P.C.M.Village landscape crews, and the cost of such revisions shall be at the cost of the Mutual member performing the alteration.

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out this resolution.

Should the Board endorse the proposed revisions, Staff recommends that a motion be made and seconded to accept the resolution and allow discussion to ensure that the resolution reads to the satisfaction of the Board. Staff then recommends that a Board Member postpones the resolution to the next available Board Meeting no less than 30-days from the postponement to comply with Civil Code §4360.

# THIRD LAGUNA HILLS MUTUAL

## SECTION 21 PATIO SLABS

FEBRUARY 1985

REVISED FEBRUARY 2003, RESOLUTION 03-03-17

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REMOVED JANUARY 2018, RESOLUTION 03-18-XX

REVISED MARCH 2018, RESOLUTION 03-18-XX

FOR GENERAL REQUIREMENTS SEE SECTION 1  
GENERAL REQUIREMENTS FOR ALTERATION STANDARDS

### 1.0 — GENERAL REQUIREMENTS

- 1.1 — PERMITS AND FEES: A Mutual permit is required for all alterations to the building. A City of Laguna Woods permit may be required. All fees for both Mutual and City permits shall be paid for by the Member and/or his or her contractor. Member and/or his or her contractor must provide the Permits and Inspections office with City permit number(s) prior to beginning work.
- 1.2 — MEMBERS' RESPONSIBILITY: The Member is solely responsible for the maintenance, repair, and/or removal of all alterations to the building.
- 1.3 — CODES AND REGULATIONS: All work shall comply with all applicable local, state, and federal requirements including, but not limited to, the current edition of the National Electric Code (NEC).
- 1.4 — WORK HOURS: No work shall commence prior to 7:00a.m. and no work shall be permitted after 6:00p.m. Monday through Friday. Work on Saturday shall be permitted from 9:00a.m. — 2:00p.m. for work which results in construction related noise (e.g. cutting tile, hammering, use of power tools). For work that does not result in excessive noise, such as painting and carpet installation, permitted hours are 7:00a.m. — 6:00p.m. No work whatsoever shall be permitted on Sunday.
- 1.5 — PLANS: The Member applying for a permit shall provide to the Permits and Inspections office a detailed plan(s) for approval indicating all work to be done, i.e., size, location, description and specifications.



~~1.6 — **DUMPSITES:** The premises shall be kept free of accumulation of waste materials and/or rubbish caused by construction work. The Member and/or his or her contractor is responsible for removal of debris and excess material and must leave work areas "**BROOM CLEAN**" daily. **USE OF COMMUNITY DUMPSITES FOR CONSTRUCTION RELATED DUMPING IS NOT PERMITTED.** Contractor's or Member's dumpsters, if required, must have location approved by the Permits and Inspections office.~~

~~1.7 — **CONTRACTOR:** Installation must be performed by a California licensed contractor of the appropriate trade.~~

~~1.8 — **CONTRACTOR'S CONDUCT:** Member's contractor's, their personnel, and sub-contractors shall refrain at all times from using profanity, abusive or loud language, and must wear shirts at all times. Radio, MP3, CD or cassette players are not permitted on the project site. Contractor personnel will, at all times, extend and exhibit a courteous demeanor to residents.~~

## 2.0 PREPARATIONS

2.1 In each case, the site will be inspected prior to work for adjustments pertaining to this section.

2.2 No slab will be allowed that will hinder yard drainage.

2.3 No slab will be allowed in areas where access for maintenance is required.

2.4 In no case will concrete cover ~~over~~ sprinklers, sprinkler lines, or other related items.

## 3.0 APPLICATIONS

3.1 Patios may be constructed of a concrete slab or interlocking concrete pavers only.

3.2 Planting or dirt areas inside the defined patio walls may be paved over with concrete or interlocking pavers providing the paving does not extend beyond the wall.

~~3.3~~ Concrete slabs will be 4" minimum ~~in~~ thickness and will be ~~required to be constructed~~ of ~~520-C-2500 concrete~~ 2000 P.S.I. strength within 28 days. ~~Welded~~ ~~W~~ wire mesh ~~or or~~ #3 rebar and a vapor barrier with minimum of 1" sand cover are required. ~~as part of the installation.~~

~~3.3~~ A

3.4 ~~II—installations~~ All installations must have a minimum slope of 1/4" per foot and drain to drain inlets or landscaping.

3.5 Interlocking paver installations must use treated wood, red wood or plastic edging. ~~and~~ Edging shall be secured ~~edging~~ in place per manufacturer's specifications.

3.6 Interlocking paver installations must use a "Class 2" subbase of a minimum of 4 inches deep and must use a coarse sand layer of at least 1 inch thick as bedding for pavers. Paved area must be compacted with a vibrating flat plate to lock pavers into place.

3.7 Pavers may be 7/8 of an inch to one inch thick if ~~overlaid~~ overlaid on an existing concrete slab. Otherwise pavers must be 2 3/8-inches thick.

3.8 Pavers may not form or contain any pictures, symbols or wording.

~~3.9~~ Refer to Section 11 – Exterior Floor Coverings for ~~parameters~~ specifications regarding covering patio slabs.

~~3.9.3.10~~ Patio slab extensions shall not encroach into Common Area.

#### 4.0 SPRINKLER REVISIONS

- 4.1 Any required landscape or irrigation revisions will be performed only by P.C.M. Village landscape crews, and the cost of such revisions shall be at the cost of the Mutual member performing the alteration.
- 4.2 No sprinklers will be placed inside any patio area by P.C.M. Village landscape crews. Any systems added shall not be connected to the Mutual-owned system.